

**REQUEST FOR  
ACTION BY:  
TOWN OF CLARENCE, N.Y.**

- ☒ Appeal Board  
☐ Planning Board  
☐ Town Board

- ☒ Appeal  
☐ Rezone  
☐ Revise Ordinance  
☐ Subdivision  
☐ Limited Use Permit  
☐ Other

Rec'd. by: Jonathan Bleuer  
 Date August 18, 2014

**Action Desired** Applicant requests a variance to allow for the construction of a 168 sq ft. detached accessory structure within the front yard setback located at 10660 Rapids Road.

Principle structure is located within the Agricultural Floodzone.

**Reason**

Town Code Reference:

§229-34 (E)

**PLEASE PRINT**

<b>Name</b>	David W. Deats		
<b>Address</b>	10660 Rapids Road		
	Clarence Center	NY	14032
<b>Town/City</b>	435-8545	<b>State</b>	<b>Zip</b>
<b>Phone</b>			
<b>Signed</b>	SIGNATURE ON FILE		

Requests for action on zoning should be filled out completely in above spaces if practicable, otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

**Initial Action**

Approved ☐  
 Rejected ☐ by ..... on ..... 19 .....  
 Approved ☐  
 Rejected ☐ by ..... on ..... 19 .....  
 Published (Attach Clipping) ..... on ..... 19 .....  
 Hearing Held by ..... on ..... 19 .....

**Final Action Taken**

Approved ☐  
 Rejected ☐ by ..... on ..... 19 .....  
 Published (Attach Clipping) ..... on ..... 19 .....  
 Filed with Town Clerk ..... on ..... 19 .....  
 Filed with County Clerk ..... on ..... 19 .....













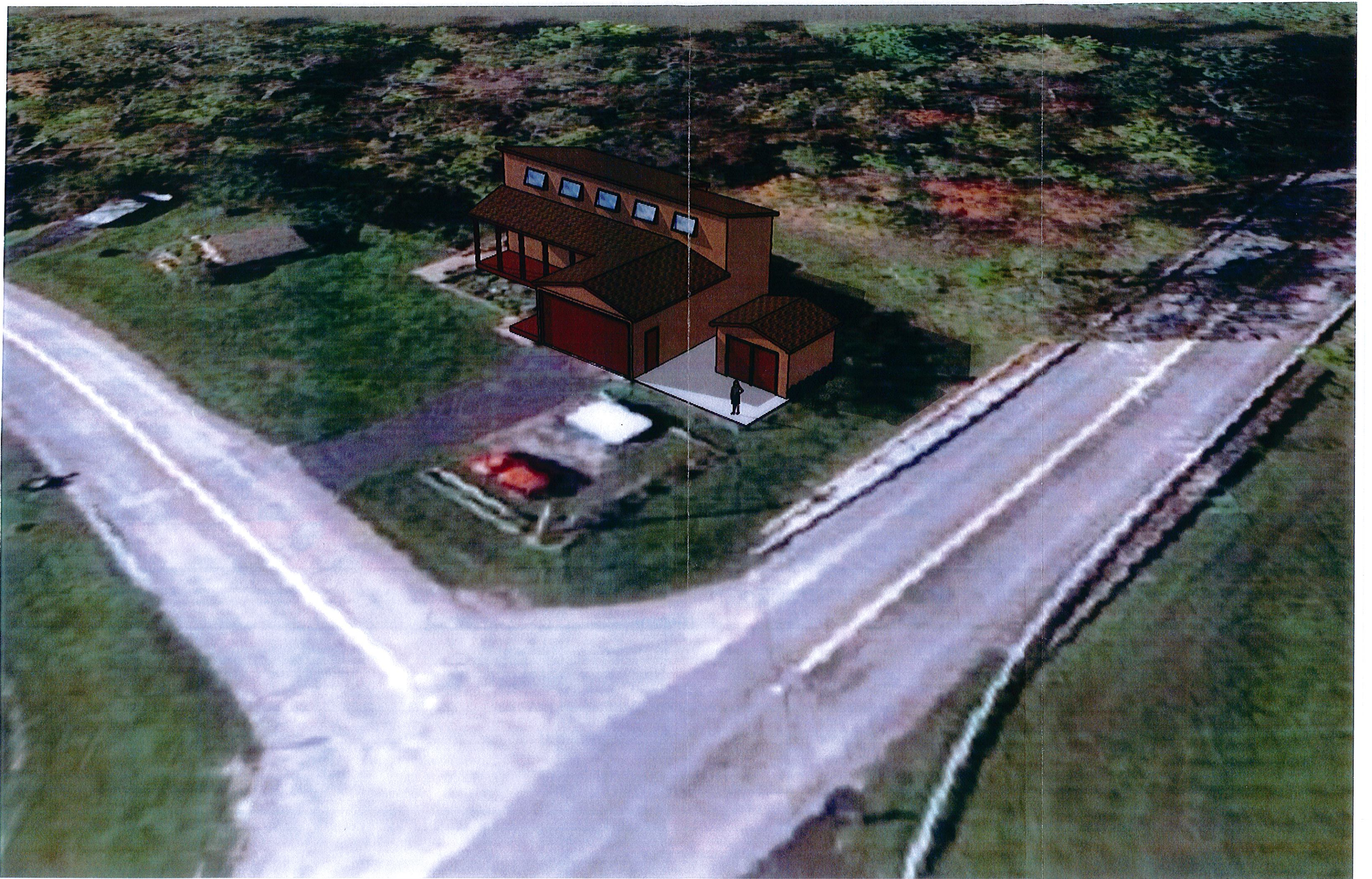
Proposed Detached Accessory Structure  
located within the front yard setback  
168 sq. ft.



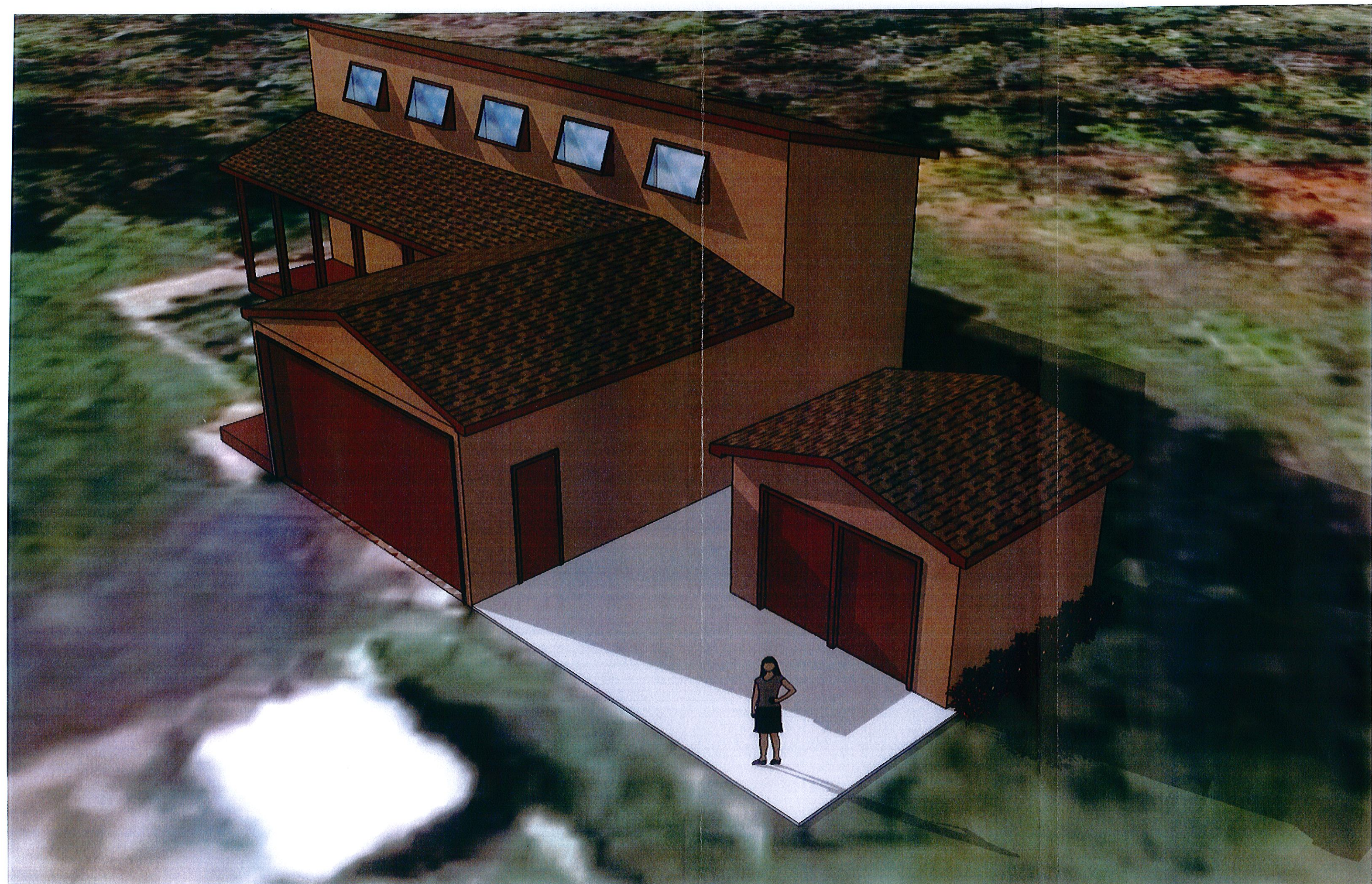
\* note the parcel lines displayed are approximate

10660 Rapids Road

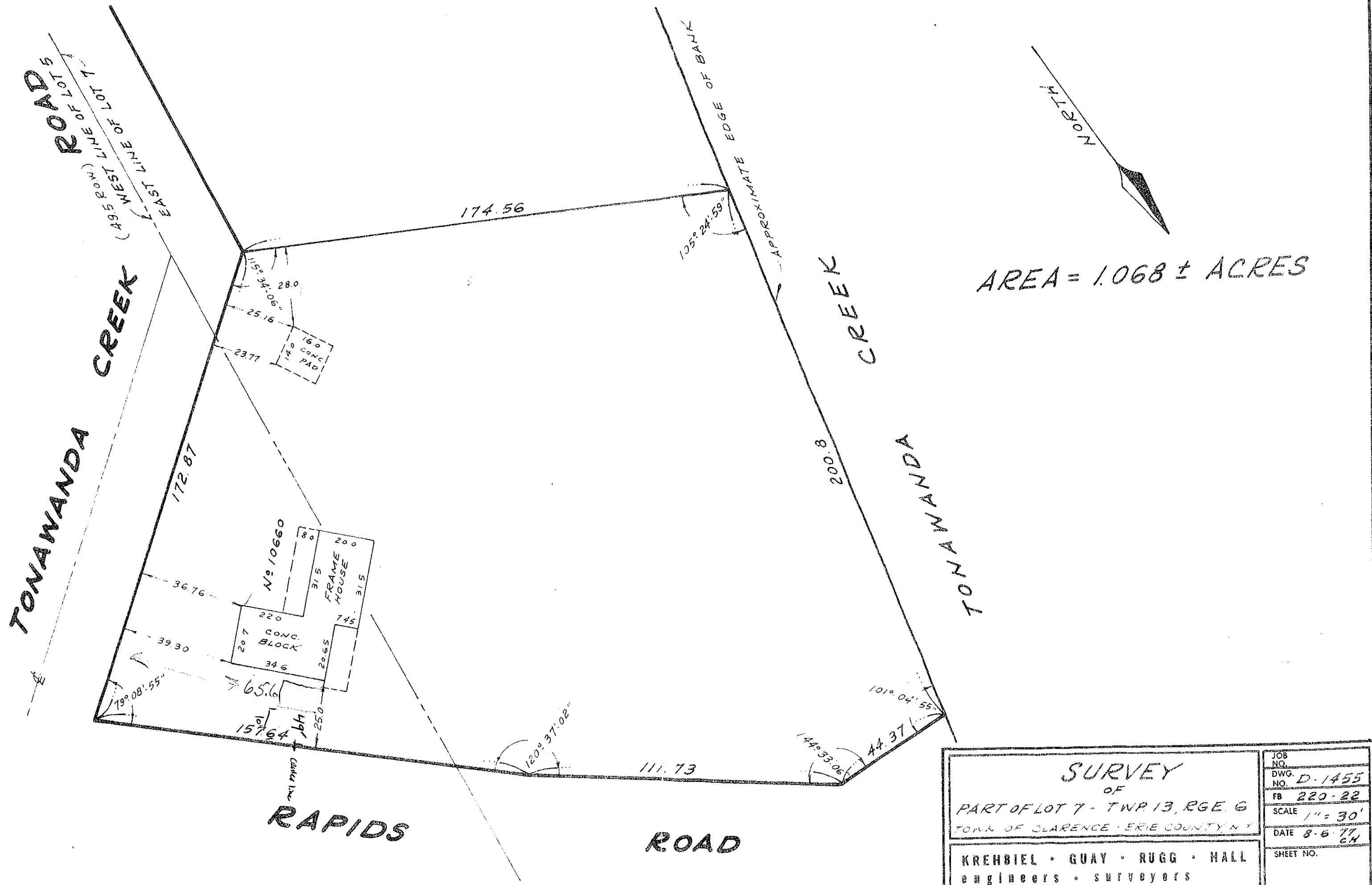














# REQUEST FOR ACTION BY:

TOWN OF CLARENCE, N.Y.

- ☒ Appeal Board  
☐ Planning Board  
☐ Town Board

- ☒ Appeal  
☐ Rezone  
☐ Revise Ordinance  
☐ Subdivision  
☐ Limited Use Permit  
☐ Other

Rec'd. by: Planning and Zoning  
Date August 18, 2014

**Action Desired** Applicant requests a variance of 88 sq. ft. to allow for the construction of a 288 sq ft. detached accessory structure located at 9641 Carmelo Court.

Principle structure is located within the Residential Single Family zone.

## Reason

Town Code Reference:

§229-55 (H)

## PLEASE PRINT

<b>Name</b>	Jim Czajkowski		
<b>Address</b>	9641 Carmelo Ct		
	Clarence Center	NY	14032
<b>Town/City</b>	<b>State</b>	<b>Zip</b>	
<b>Phone</b>			
<b>Signed</b>	SIGNATURE ON FILE		

Requests for action on zoning should be filled out completely in above spaces if practicable, otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

## Initial Action

Approved ☐  
Rejected ☐ by ..... on ..... 19 .....  
Approved ☐  
Rejected ☐ by ..... on ..... 19 .....  
Published (Attach Clipping) ..... on ..... 19 .....  
Hearing Held by ..... on ..... 19 .....

## Final Action Taken

Approved ☐  
Rejected ☐ by ..... on ..... 19 .....  
Published (Attach Clipping) ..... on ..... 19 .....  
Filed with Town Clerk ..... on ..... 19 .....  
Filed with County Clerk ..... on ..... 19 .....





\* note the parcel lines displayed are approximate

9641 Carmelo Court

Proposed Detached Accessory Structure

288 sq. ft.

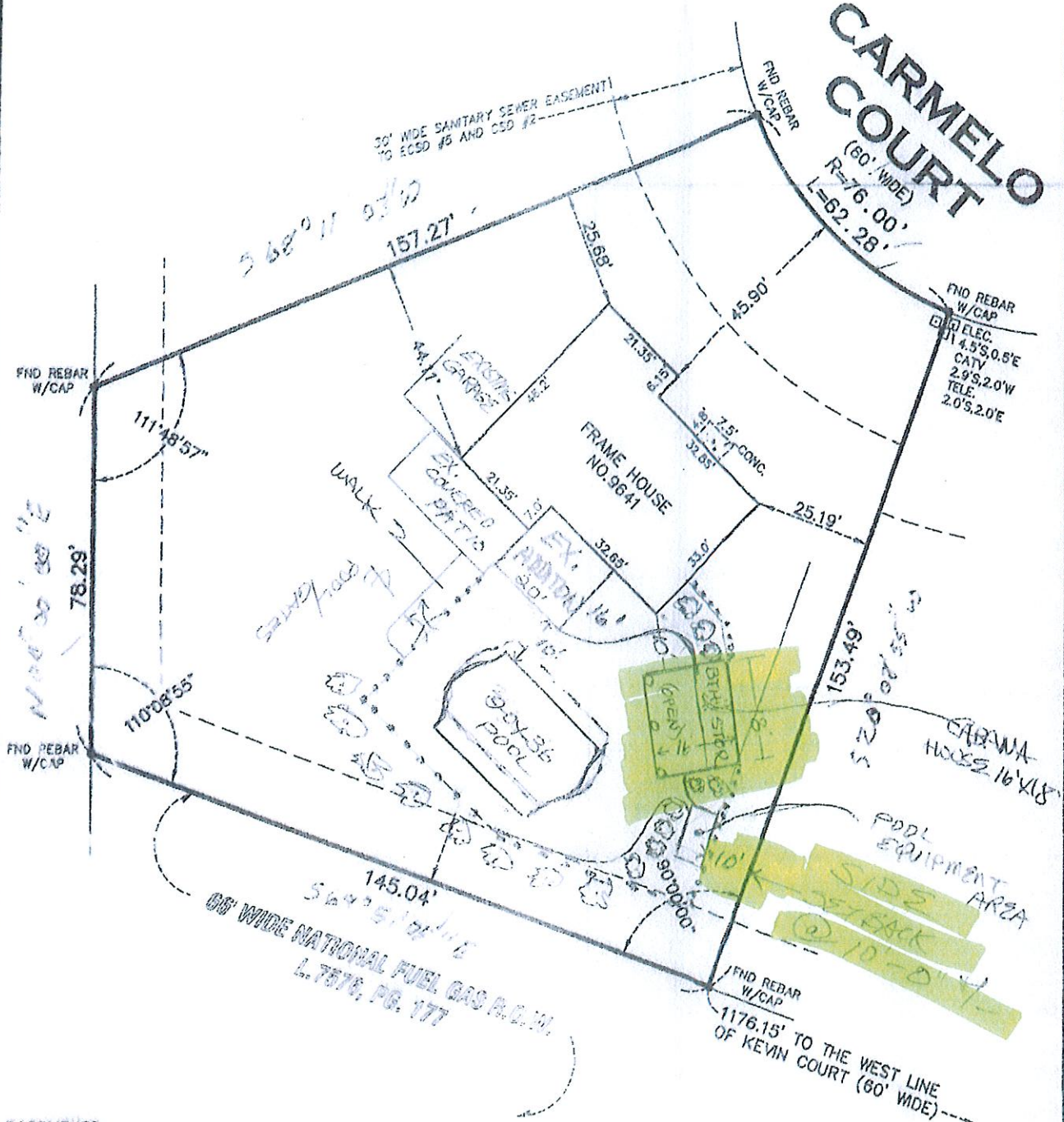




PROPOSED POOL/CABANA HOUSE  
IMPROVEMENT OB. 14

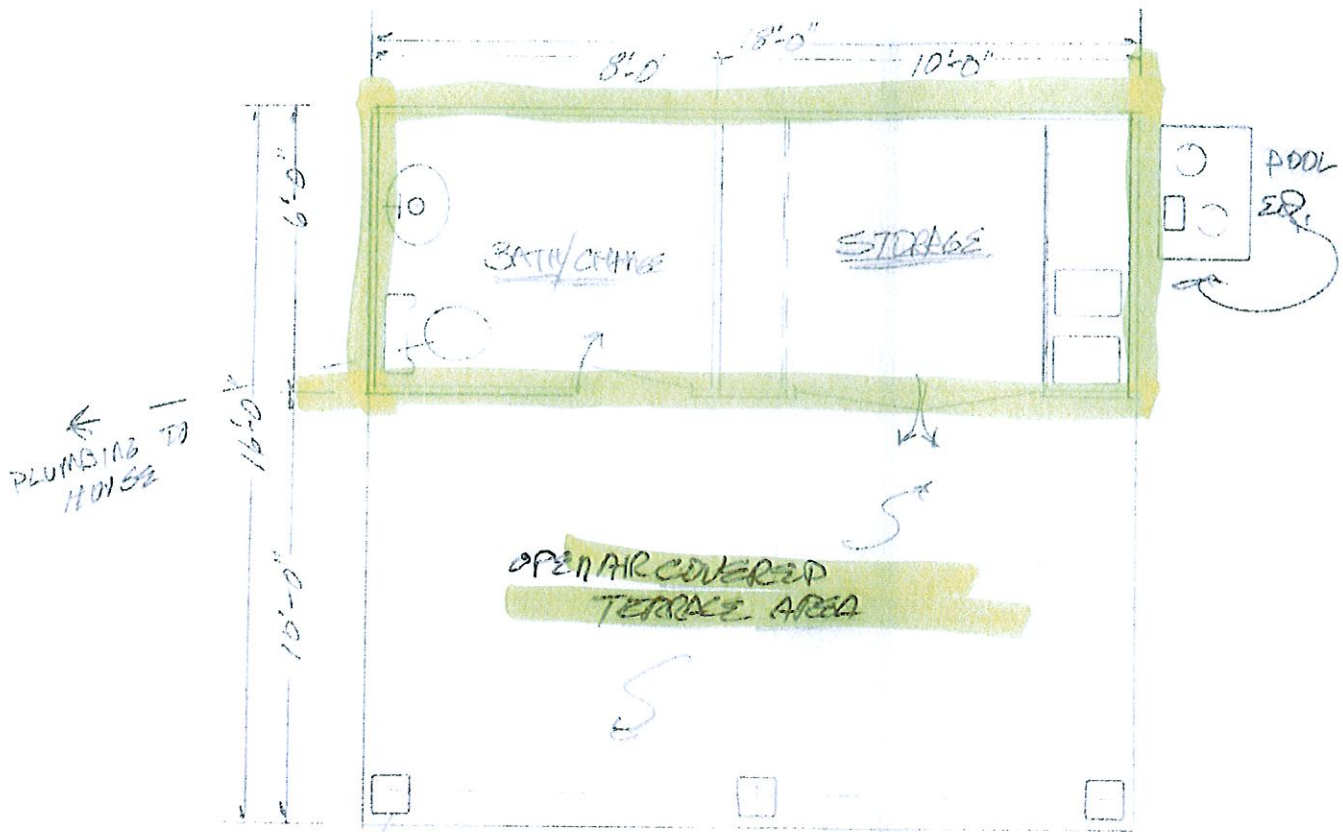
R.D. 6

**CARMELO COURT**  
(60' WIDE)  
R=76.00'  
L=62.28'

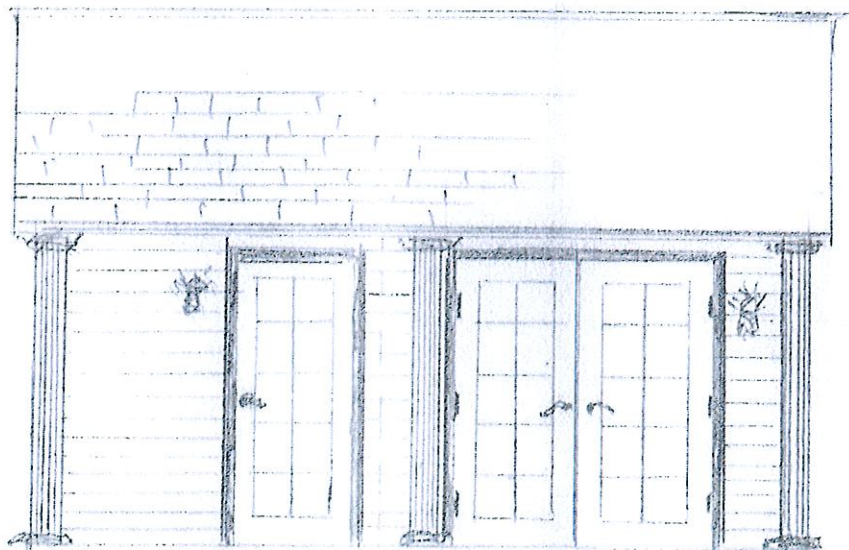


EASEMENTS:  
EASEMENT(S) TO NYSE&G CORP. AND/OR NY TELE,  
RECORDED IN L.9577, PG. 699, L. 7283, PG. 97, L. 6496,  
PG. 553, L. 6733, PG. 479, L. 6361, PG. 19. DO NOT AFFECT  
THIS PARCEL.



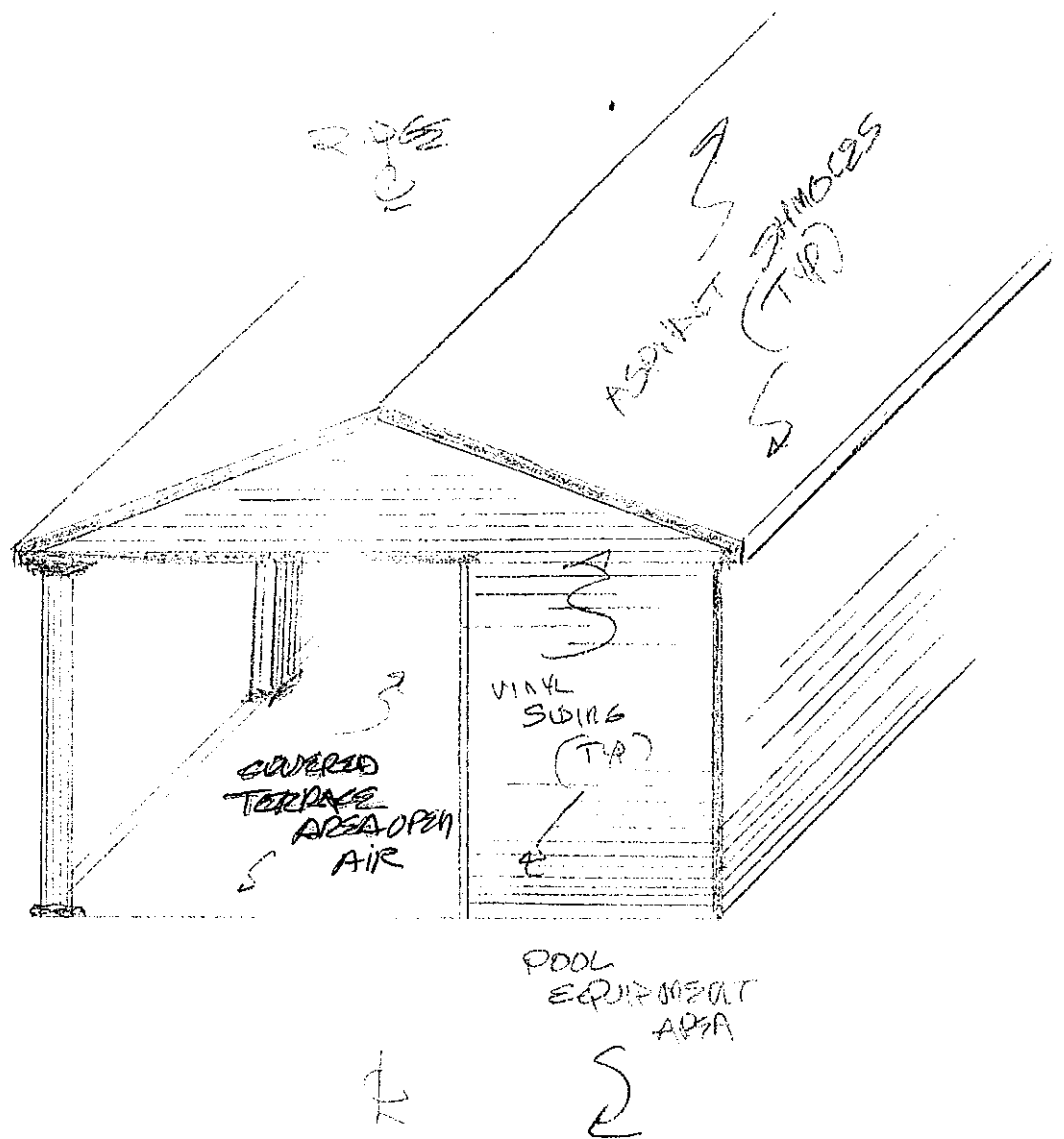


COLUMN TYPICAL (3) FLOOR PLAN  
 10"X10" sq. ft. lube alum. white



FRONT VIEW







**REQUEST FOR  
ACTION BY:  
TOWN OF CLARENCE, N.Y.**

- ☒ Appeal Board  
☐ Planning Board  
☐ Town Board

- ☒ Appeal  
☐ Rezone  
☐ Revise Ordinance  
☐ Subdivision  
☐ Limited Use Permit  
☐ Other

Rec'd. by: Planning and Zoning

Date August 26, 2014

**Action Desired** Applicant requests a variance of 94' to allow for the construction of a 154' wind turbine located at 6879 Salt Road.

Principle structure is located within the Agricultural Rural Residential zone.

**Reason**

Town Code Reference:

§173-4 (C)

**PLEASE PRINT**

**Name** Matt Vanderbrook- SED

**Address** 317 Route 104

Ontario NY 14519

**Town/City** State **Zip**  
**Phone** 585-265-2384

**Signed** SIGNATURE ON FILE

Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

**Initial Action**

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping) ..... on ..... 19 .....

Hearing Held by ..... on ..... 19 .....

**Final Action Taken**

Approved ☐

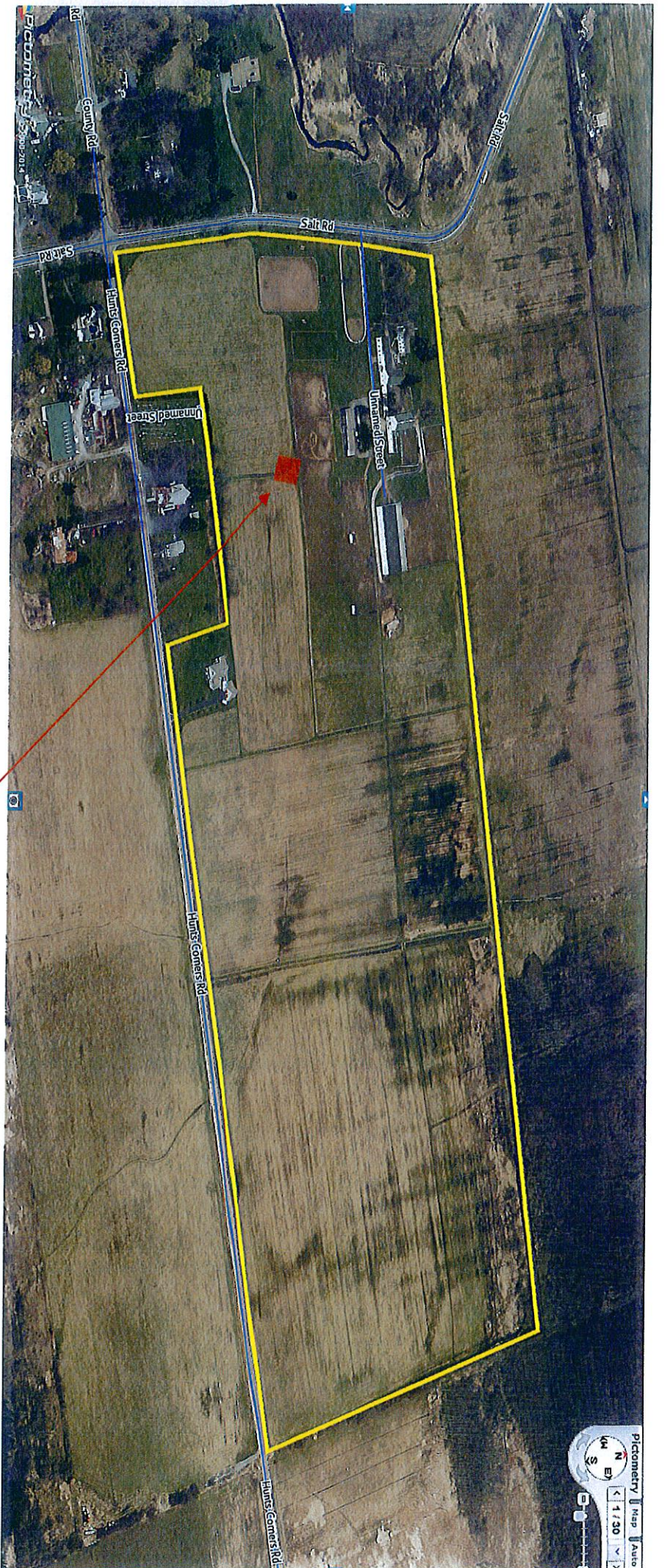
Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping) ..... on ..... 19 .....

Filed with Town Clerk ..... on ..... 19 .....

Filed with County Clerk ..... on ..... 19 .....





\* note the parcel lines displayed are approximate  
6879 Salt Road

Proposed 154' tall wind turbine



# REQUEST FOR ACTION BY:

TOWN OF CLARENCE, N.Y.

- ☒ Appeal Board  
☐ Planning Board  
☐ Town Board

- ☒ Appeal  
☐ Rezone  
☐ Revise Ordinance  
☐ Subdivision  
☐ Limited Use Permit  
☐ Other

Rec'd. by: Jonathan Bleuer

Date August 27, 2014

**Action Desired** Applicant requests a variance of 174 sq. ft. to allow for the construction of a 374 sq. ft. secondary detached garage. Applicant requests a variance of 1' 1" to allow for the construction of a 17' 1" tall detached garage. Applicant requests a variance of 4' 11" to allow for the construction of a detached garage with a 5' 1" side yard setback.

Principle structure is located at 6352 Everwood Court North and within the Residential Single Family zone.

## Reason

Town Code Reference:

§229-55 (H)

§229-55 (E) (2)

§229-55 (E) (1)

## PLEASE PRINT

**Name** Deborah and Richard Gold

**Address** 6352 Everwood Court North

East Amherst NY 14051

**Town/City** **State** **Zip**  
**Phone** 716-741-6386

**Signed** SIGNATURE ON FILE

Requests for action on zoning should be filled out completely in above spaces if practicable, otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

## Initial Action

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping) ..... on ..... 19 .....

Hearing Held by ..... on ..... 19 .....

## Final Action Taken

Approved ☐

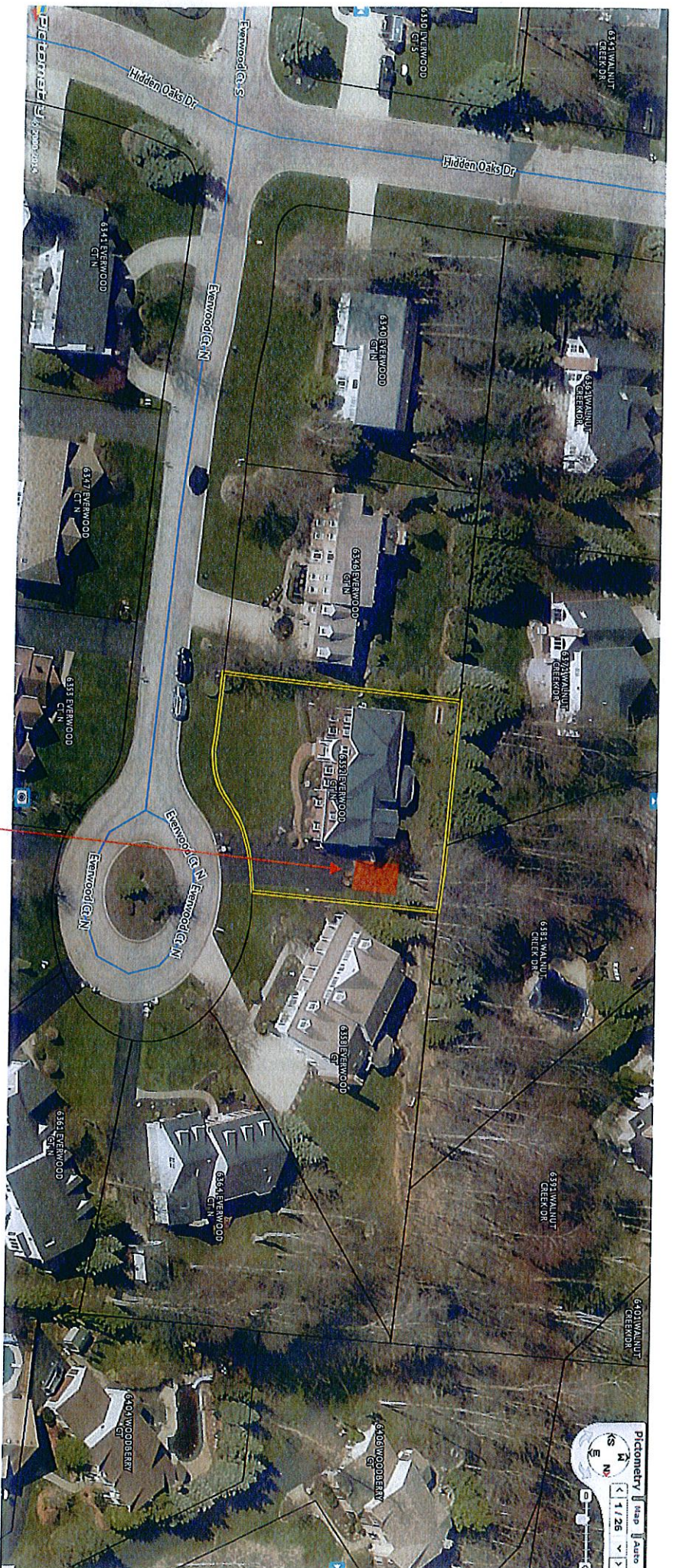
Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping) ..... on ..... 19 .....

Filed with Town Clerk ..... on ..... 19 .....

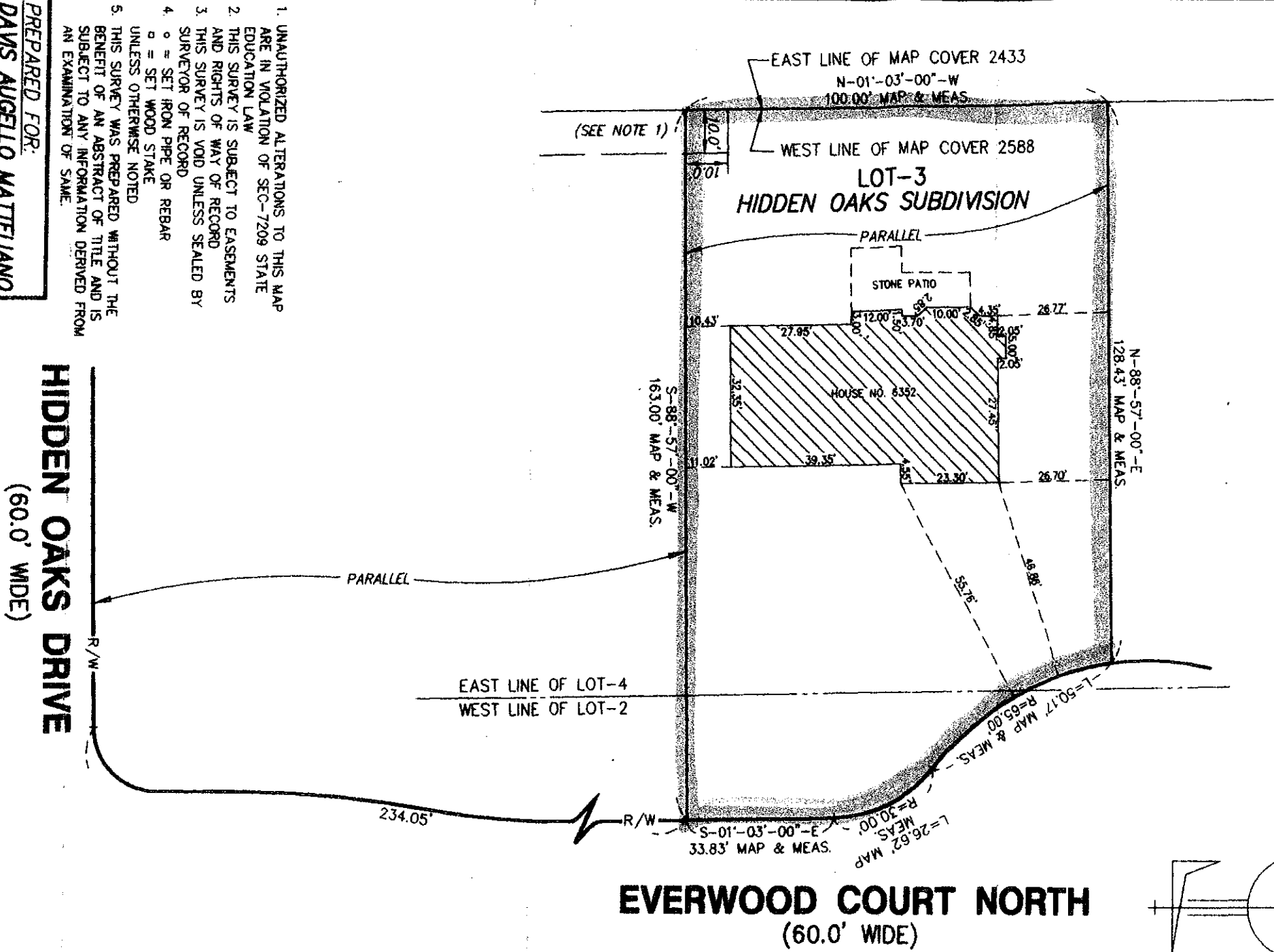
Filed with County Clerk ..... on ..... 19 .....





\* note the parcel lines displayed are approximate





1. UNAUTHORIZED ALTERATIONS TO THIS MAP ARE IN VIOLATION OF SEC-7209 STATE EDUCATION LAW
2. THIS SURVEY IS SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD
3. THIS SURVEY IS VOID UNLESS SEALED BY SURVEYOR OF RECORD
4. ° = SET IRON PIPE OR REBAR  
□ = SET WOOD STAKE  
UNLESS OTHERWISE NOTED
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY INFORMATION DERIVED FROM AN EXAMINATION OF SAME.

**HIDDEN OAKS DRIVE**  
(60.0' WIDE)

**EVERWOOD COURT NORTH**  
(60.0' WIDE)

NOTE 1: 10.0' WIDE PRIVATE DRAINAGE EASEMENT

PREPARED FOR:  
**DAVS AUGELLO MATTELIANO  
& GERSTEN, LLP**  
17 COURT STREET  
BUFFALO, NY 14202-3204

SURVEY OF \_\_\_\_\_ SUBLOT 3 - MAP COVER 2588  
BEING PART OF LOTS-2 & 4 SEC.15 TWP.12 R.6  
TOWN CLARENCE WIL. CITY \_\_\_\_\_  
COUNTY OF ERIE STATE OF NEW YORK

REVISIONS  
HOUSE LOCATION \_\_\_\_\_ OTHER \_\_\_\_\_  
REDATE 6/14/01  
CERTIFICATION \_\_\_\_\_

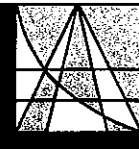
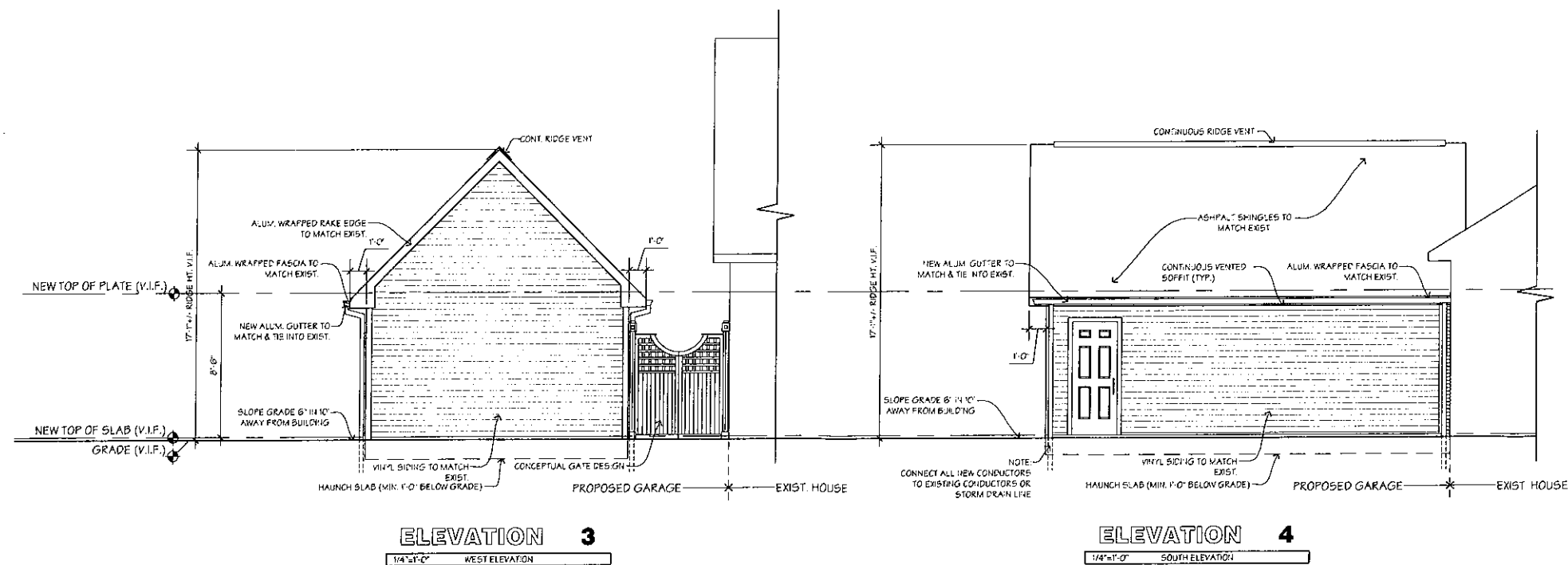
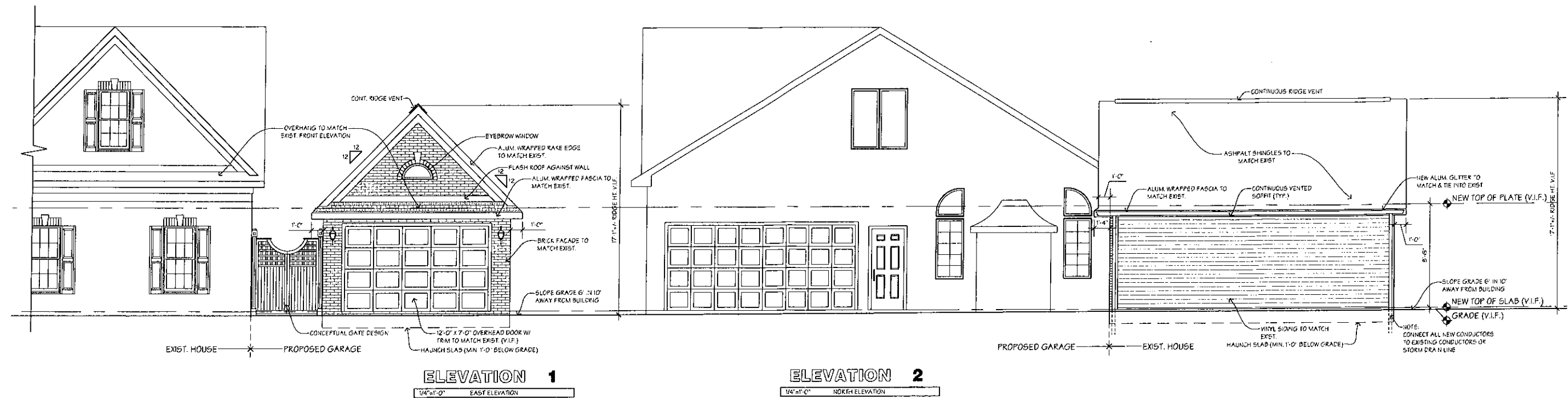
**LAND DESIGN**  
CONSTRUCTION TEAM MANAGEMENT,  
SURVEYING AND ENGINEERING, P.C.  
8800 MAIN STREET  
WILLIAMSVILLE, NY 14221  
PHONE: (716) 632-1013 FAX: (716) 832-8341

SCALE: 1"=30' DATE: 2/11/92 FILE:  
JOB NO. 86-097/3 APPROVED: ROR

AUG 27 2014

ZONING OFFICE











# REQUEST FOR ACTION BY:

TOWN OF CLARENCE, N.Y.

- ☒ Appeal Board  
☐ Planning Board  
☐ Town Board

- ☒ Appeal  
☐ Rezone  
☐ Revise Ordinance  
☐ Subdivision  
☐ Limited Use Permit  
☐ Other

Rec'd. by: Jonathan Bleuer

Date August 27, 2014

**Action Desired** Applicant requests a variance of 2' to allow for the construction of a 6' tall fence located in the front yard setback at 8301 Old Post Road East.

Principle structure is located in the Residential Single Family zone.

## Reason

Town Code Reference:

§101-3 (C) (2)

## PLEASE PRINT

Name Kevin J. Hanley

Address 8301 Old Post Road East

East Amherst NY 14051

Town/City State Zip  
Phone 716-741-8994

Signed SIGNATURE ON FILE

Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

## Initial Action

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping) ..... on ..... 19 .....

Hearing Held by ..... on ..... 19 .....

## Final Action Taken

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping) ..... on ..... 19 .....

Filed with Town Clerk ..... on ..... 19 .....

Filed with County Clerk ..... on ..... 19 .....





Proposed 6' tall fence



\* note the parcel lines displayed are approximate

8301 Old Post Road East



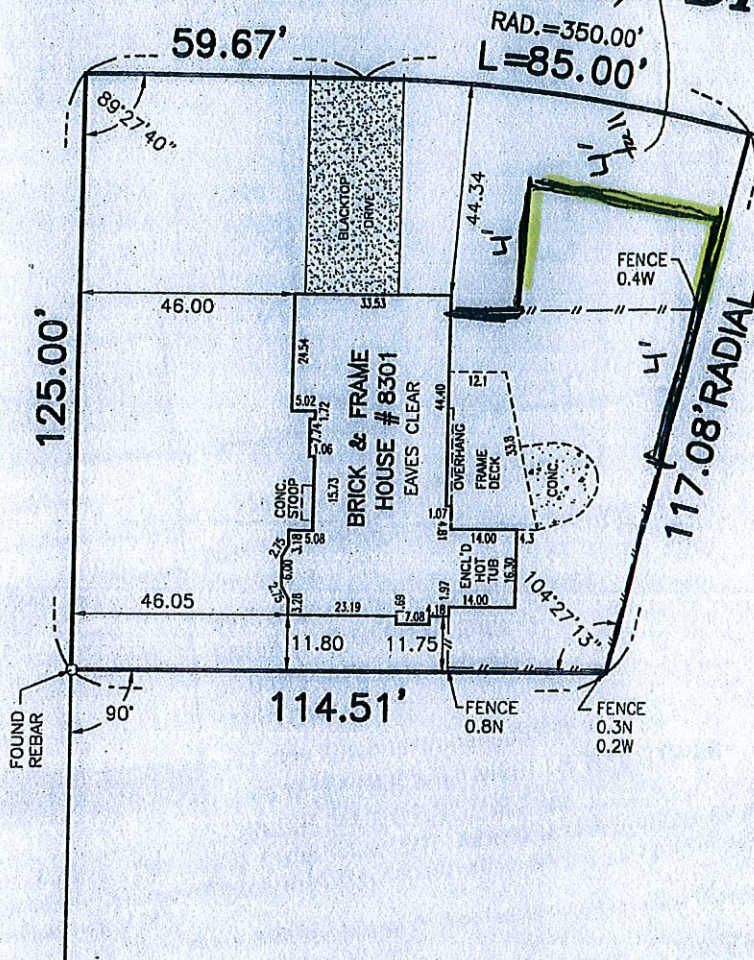
Inches  
1 inch  
2"  
3"  
4"  
5"  
6"  
7"  
8"  
9"  
10"  
11"  
12"

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH




**OLD POST ROAD (70' WIDE) EAST**

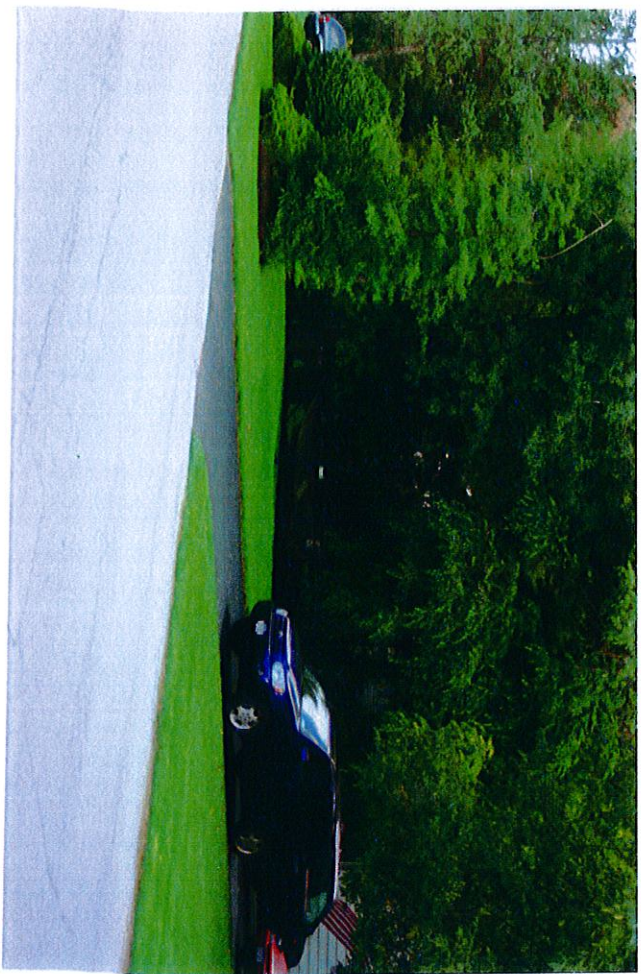
**BRIDLEWOOD (70' WIDE) DRIVE**



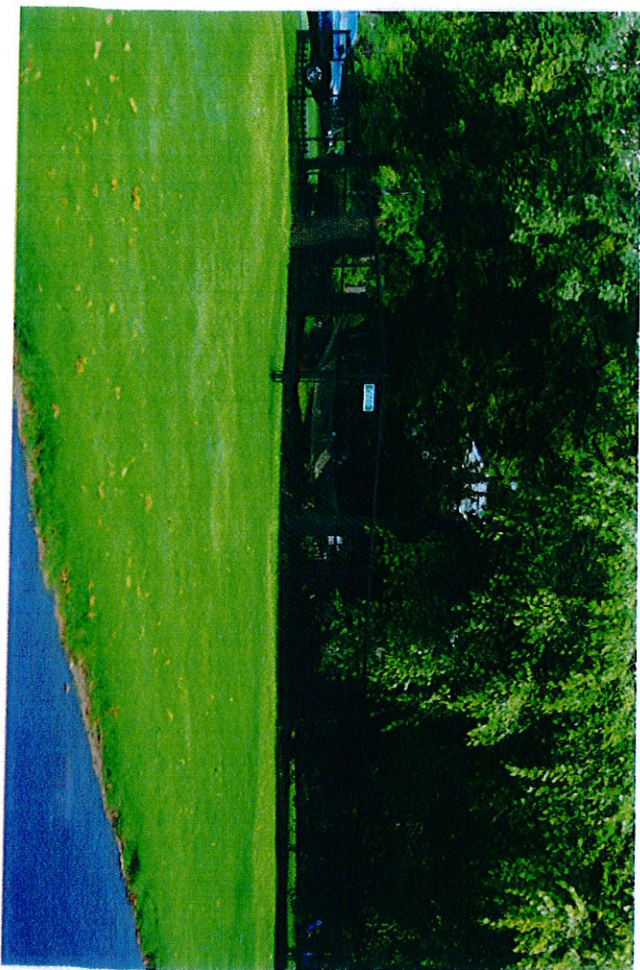
*Bernard E. Wells*

LOCATION: TOWN OF CLARENCE	SCALE: 1"=30'		<b>Foit-Albert Associates</b> Architecture, Engineering and Surveying, P.C. 763 Main Street, Buffalo, New York 14203 SUCCESSOR TO THE RECORDS OF CHARLES E. DENVER PHONE: (716) 856-3933 FAX: (716) 856-3961
COUNTY OF ERIE, STATE OF NEW YORK	DRAWN BY: O. A. REYES		
PART OF LOT 3, SECT. 16, TOWNSHIP 12, RANGE 6	CHECKED BY: B. E. WELLS	UNAUTHORIZED alteration or addition to any survey, drawing, design, specification, plan or report is a violation of Section 7209, Provision 2 of the New York State Education Law. Only copies from the original of this survey map marked with an original of the land surveyor's embossed seal and signature shall be considered to be valid true copies.	Copyright Foit-Albert Associates, all rights reserved. No portion of this drawing may be reproduced, stored or transmitted by any means without prior written permission of the architect, engineer or surveyor.
MAP COVER: 2423	RESURVEY:		
SUBLOT(S): 88			
REVISIONS:			
DATE: APRIL 18, 2001	JOB No.: 01-21666	NO COR. MON. SET	











**REQUEST FOR  
ACTION BY:  
TOWN OF CLARENCE, N.Y.**

- ☒ Appeal Board  
☐ Planning Board  
☐ Town Board

- ☒ Appeal  
☐ Rezone  
☐ Revise Ordinance  
☐ Subdivision  
☐ Limited Use Permit  
☐ Other

Rec'd. by: Planning and Zoning  
 Date August 27, 2014

**Action Desired** Applicant requests a variance of 11' 6" to allow for a front yard setback of 33' 6" from the edge of a proposed attached garage located at 5035 Red Tail Run.

Principle structure is located in the Residential Single Family zone.

**Reason**

Town Code Reference:

\$229-52 (A) (1)

\*established front yard setback of 45'

**PLEASE PRINT**

**Name** Raj Sharma

**Address** 5035 Red Tail Run

Williamsville NY 14221

**Town/City  
Phone**

**State**

**Zip**

**Signed** SIGNATURE ON FILE

Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

**Initial Action**

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping)

on ..... 19 .....

Hearing Held by ..... on ..... 19 .....

**Final Action Taken**

Approved ☐

Rejected ☐ by ..... on ..... 19 .....

Published (Attach Clipping)

on ..... 19 .....

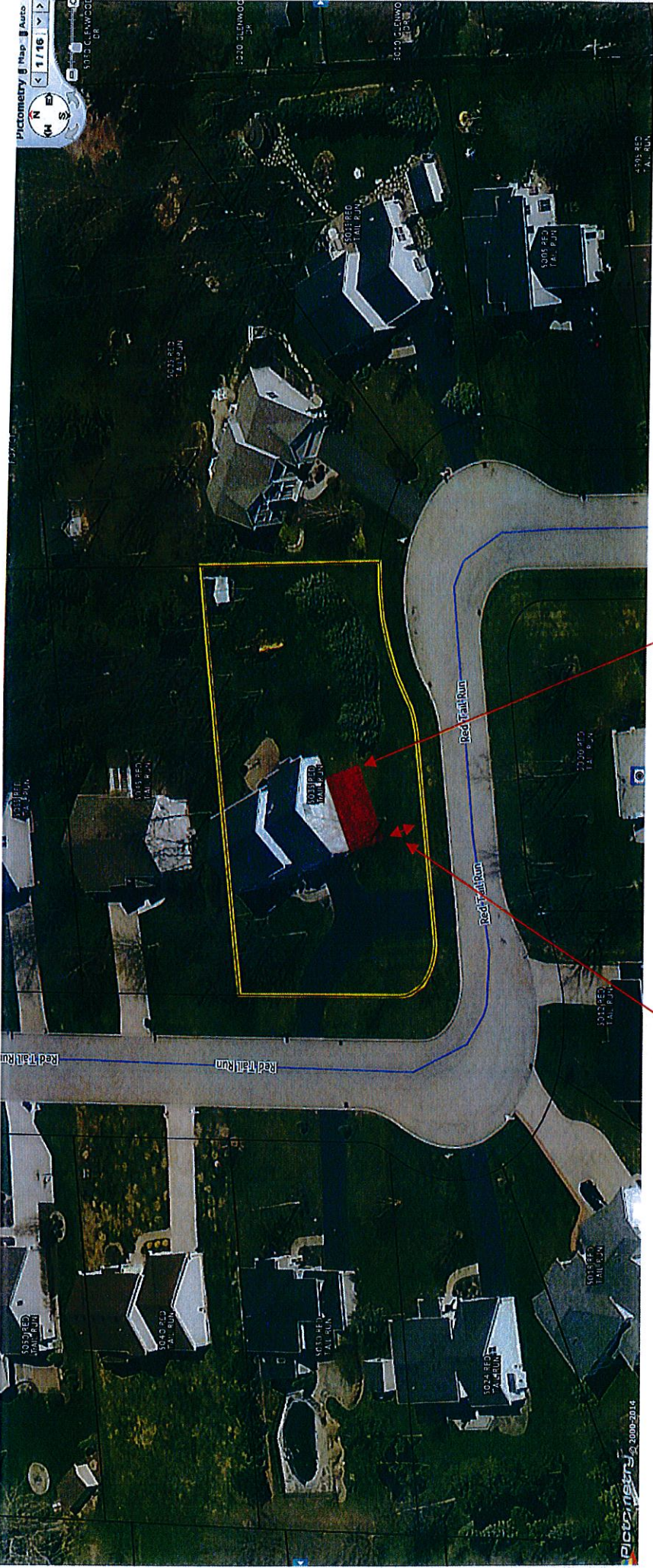
Filed with Town Clerk

on ..... 19 .....

Filed with County Clerk

on ..... 19 .....





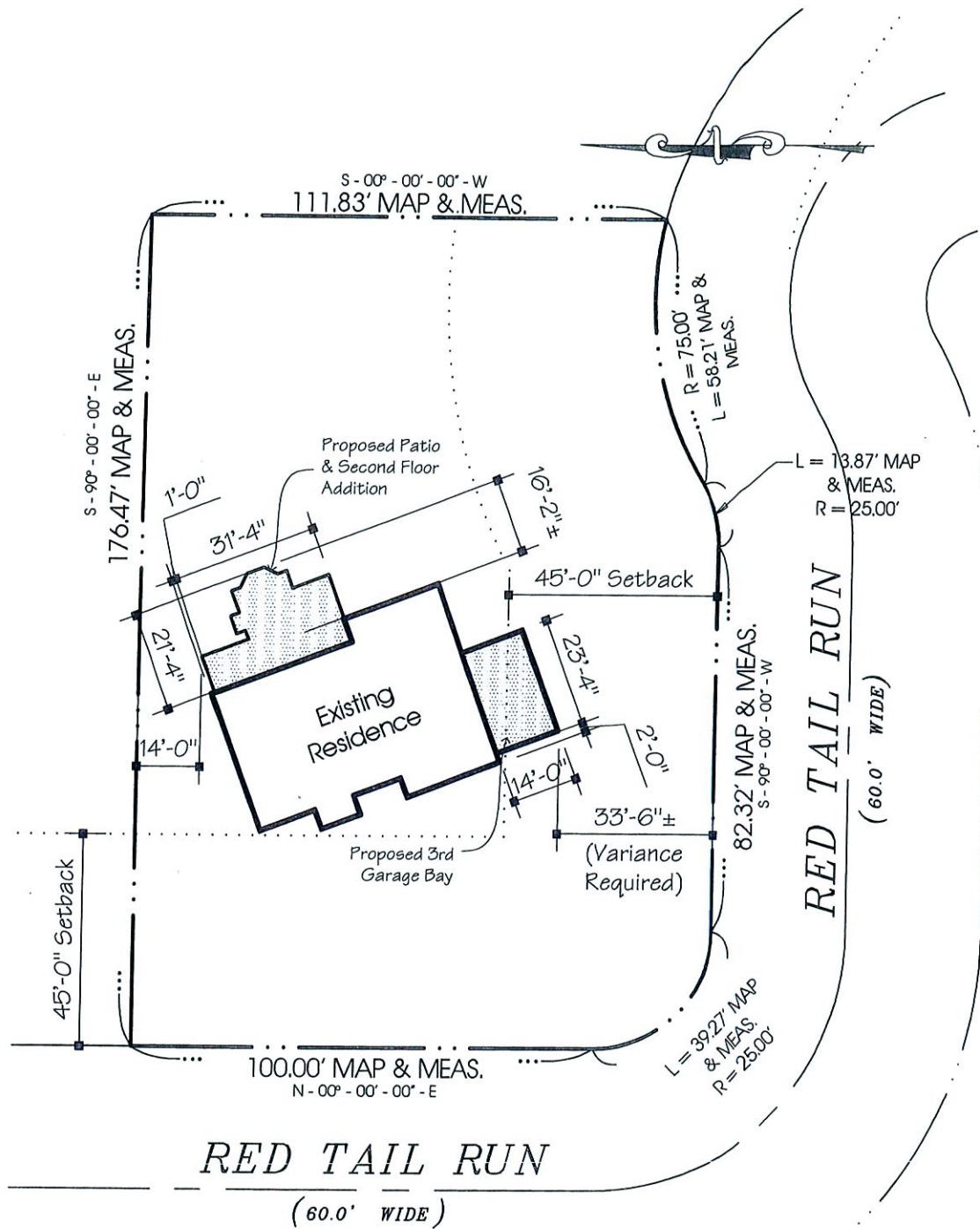
33' 6" proposed front yard setback

Proposed attached garage

\* note the parcel lines displayed are approximate

5035 Red Tail Run





RECEIVED

AUG 27 2014

ZONING OFFICE





- NOTE:**  
Additional Hardwired Smoke Detectors and Carbon Monoxide Detectors Shall Be Installed In Existing Dwelling As Req'd by Section R313 Of The Residential Building Code Of New York State. All Detectors Must Be On Each Floor, Including The Basement and Shall Be Interconnected.

1. Conform to applicable state and local codes for demolition work, including safety of adjacent structures, dust control, run off and disposal.
2. Notify all affected utility companies before starting work and comply with their requirements.
3. Mark location of all utilities.
4. Do not close or obstruct roadways, sidewalks or hydrants without proper permits.
5. Conform to applicable regulatory procedures when discovering hazardous or contaminated materials.
6. Prepare, erect and maintain temporary barriers and security devices at locations required to prevent entrance to work area.
7. Prevent movement or settlement of structural components. Provide bracing and shoring as required.
8. Cease operations immediately if structure appears to be in danger, notify architect. Do not resume operations until directed.
9. Disconnect and remove or cap all existing utilities within building service to points of incoming service.
10. Remove materials to be reinstalled or retained in a manner to prevent damage.
11. Remove demobilized materials from the site. Do not burn or bury materials on site. Leave site in clean condition.
12. Remove all interior partitions noted on demolition plan for removal. Proper care should be taken to provide proper bracing of the structure.
13. Remove all electrical wiring and appliances in demo walls throughout the structure.
14. Remove all plumbing pipes and fixtures as required by demolition and new construction. Cut sanitary lines below slab, cut supply lines back to nearest branch pipe. Test water meter, replace if necessary.
15. Remove all gas piping and fittings as required by demolition and new construction. Cut back to nearest branch pipe. Test gas meter, replace if necessary.

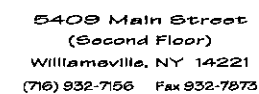


Window Schedule										Windows chosen to be Pella Pro Line or Equal
Mark	Quant	Unit Description	Rough Opening	S.F. Vent	S.F. Glass	Clear Opng.	Oper.	Glazing	Finish	Remarks
1	1	7281	6'-0" x 6'-0 5/8"	15.3	28.6	28.88" x 76.38"	Sliding Door	Low E	Alum. Clad	Provide Opt. Grills
2	4	2953	2'-5 3/4" x 4'-5 3/4"	8.5	8.0	20.13" x 48.88"	Gas.	Low E	Alum. Clad	Provide Opt. Grills and Extension Jamb for 2x6 Walls

[illegible]

## Raj and Nandita Sharma

Copyright Sutton Architecture® 2014



Drawn By: <b>C. Nichter</b>	Sheet No.:  <b>A-1</b>
Date: <b>3-20-14</b>	
Checked: <b>D. Sutton</b>	
Scale: <b>As Noted</b>	

**A-1**



# GENERAL NOTES

1. Do not scale drawings.
2. These architectural drawings are for representative purposes only, and are subject to non-structural alterations by the local building authorities and/or the contractor. Such alterations may include aesthetic issues such as front elevations and door and window sizes provided they meet minimum light, vent, and egress requirements. Framing and structural changes must be approved by the Architect.
3. The lot layout will be determined by the local building authority and/or the contractor.
4. Exact sanitary layouts will be provided by the contractor.
5. Stair specifications will be provided by the contractor.
6. The location of items such as furnace, water heater, vents and flue, other mechanical systems, sump crocks, utility service and other items will be determined by the contractor.
7. Interior and Exterior finish items, trim items, and other non-structural items may vary. Building specifications and standards are controlling.
8. Capped wall heights may vary, exact height and locations to be determined in field by the contractor.
9. Optional items selected by the Owner may incur additional charges. Optional items shown on these drawings are controlled by builder's specifications. The Builder's specifications shall control with respect to all cost items and/or discrepancies between builder's specifications and architectural drawings.
10. The contractor shall be responsible for obtaining all necessary permits and complying with applicable codes and ordinances, and for notifying governing bodies for appropriate inspections.
11. All footings shall sit on undisturbed soil with an assumed soil bearing of 3000 psf. (unless otherwise noted in Soil Test, if provided) All concrete shall be 3500 psi. All steps in the Foundation shall conform to 403.1.5 in the Residential Bldg. Code of NYS. Provide 5-7% Air Entrapment for Exposed Concrete and Garage Slab as Per Table R-402.2.
12. The contractor shall verify all dimensions and details on these drawings prior to construction and immediately report any discrepancies to the Architect. The contractor shall verify all dimensions before proceeding with fabrication or construction.

13. All work shall conform to the requirements of all Local, State and Federal codes. Local, State and Federal codes are to take precedence over the drawings and specifications.
14. All dimensions, notes, finishes and features shown on typical floor plans, sections or details shall apply to all similar, symmetrical or opposite hand plans, sections or details.
15. All dimensions are to face of stud at interior walls and face of sheathing at exterior walls or actual face of masonry (unless otherwise noted). Framing to co-ordinate with General Contractor on Site to add any additional 2x6 walls, as required for Mechanical or Plumbing purposes.
16. All HVAC and electrical work is not included in this set of documents and is to be designed by others. Electrical system shall conform to National Electrical Code. "Arc Fault" protection shall be provided at all outlets, as per code.
17. Grading shown on these drawings is representational only. Exact site conditions may require adjustment to final grading or height of basement walls by the contractor. Proper drainage system must be provided.
18. Failure to show or mention minor details shall not be warrant for omission of necessary appurtenances for the normal, usual and proper completion of the work.
19. Install double structural members under all partitions and framed openings in walls, roof, floor, and under both ends of beams.
20. Install required bridging in floor joists at mid-span, and/or in such manner that the unbraced length does not exceed 8'-0". Bridging is not required between every joist space and may be impossible to install due to mechanical or structural interference. Fireblocking shall be provided, as required, to conform to Section R602.8 in the Residential Bldg. Code of NYS.
21. All structural lumber over 4" shall be No. 2 Douglas Fir-Larch with a minimum extreme fiber in bending stress (F<sub>b</sub>) of 1400 lb/sq. in. And a minimum modulus of elasticity (E) of 1600,000 PSI.
22. Wood headers for interior first floor bearing walls shall be sized per the following chart, uno. on plans (use #2 Doug Fir-Larch #2):

SPAN	HEADER
0' to 5'-0"	2" x 6" with 1/2" plywood web
5'-1" to 7'-0"	2" x 8" with 1/2" plywood web
7'-1" to 9'-0"	2" x 10" with 1/2" plywood web
9'-1" to 12'-0"	2" x 12" with 1/2" plywood web

23. Wood headers for exterior first floor bearing walls shall be sized per the following chart, unless noted otherwise on plans (use Doug Fir-Larch #2): Interior non-load bearing headers shall be 2x6.

SPAN	HEADER
0' to 3'-10"	2" x 6" w/ 1/2" plywood web
3'-10" to 4'-10"	2" x 8" w/ 1/2" plywood web
4'-10" to 6'-0"	2" x 10" w/ 1/2" plywood web
6'-0" to 7'-0"	2" x 12" w/ 1/2" plywood web

24. Wood ceiling joists with no attic storage shall be sized per the following chart, unless otherwise noted on plans. All cly. joists shall span in the same direction as roof rafters unless otherwise approved by the architect.

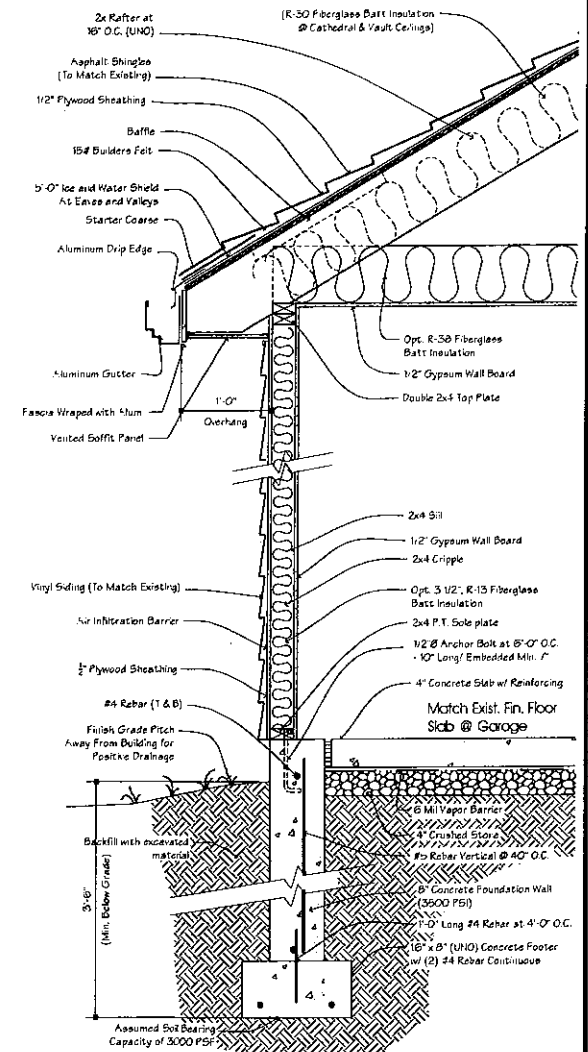
## Douglas Fir-Larch

SPAN	JOIST
0' to 11'-3"	2 x 4
11'-4" to 17'-8"	2 x 6
17'-9" to 23'-4"	2 x 8
23'-5" to 28'-6"	2 x 10

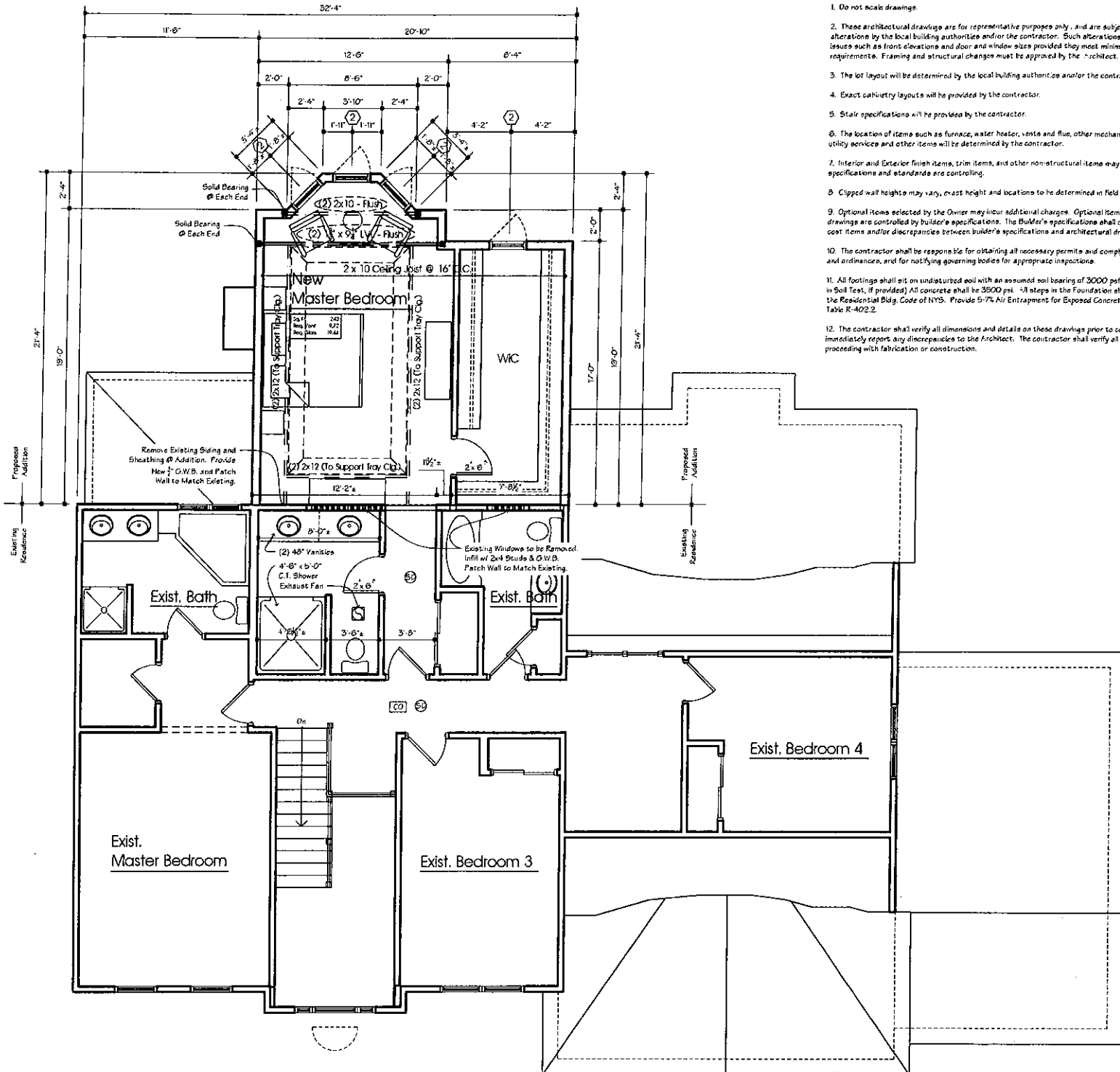
## Soft

SPAN	JOIST
0' to 10'-9"	2 x 4
10'-10" to 16'-11"	2 x 6
17'-0" to 22'-4"	2 x 8
22'-5" to 31'-1"	2 x 10

25. Provide solid bearing under all beams. Solid bearing shall be continuous from footer to underside of beams. 5/8" Type "X" drywall shall be installed at all load bearing walls in garage and steel beams in garage must be wrapped (protected), as per code.
26. Provide R-30 Batt insulation in All Floor Systems of Spaces Above Garage and All Carports (U.O.N.).
27. Furnace Rating - gas/oil 80% +/-
28. Automatic setback thermostat Heating 45 - 75 minimum
29. Domestic water heater Model ASHRN 90 - 75 Standard - Gas fired
30. Design Data:  
Outdoor - Heating degree days ..... 1,000  
Winter design dry bulb temp ..... 6  
Summer design dry bulb temp ..... 80  
Indoor - Winter design dry bulb temp ..... 72  
Design humidity ..... 30 max
31. Design Loads:  
First Floor Live Load ..... 40 PSF  
Second Floor Live Load ..... 30 PSF  
Roof Snow Load ..... 55 PSF  
Basic Wind Speed ..... 90 MPH
32. These notes may be changed as approved by Architect



A2.1 Garage Wall Section



A2.2 Second Floor Plan

1/4" = 1'-0"

Proposed Addition/ Interior Renovations For:

**Raj and Nandita Sharma**

5035 Red Tail Run  
Williamsville, NY 14221

Copyright Sutton Architecture© 2014



5409 Main Street  
(Second Floor)  
Williamsville, NY 14221  
(716) 932-7158 Fax 932-7873

**RECEIVED**

AUG 27 2014

**ZONING OFFICE**

Job Number  
**14-148**

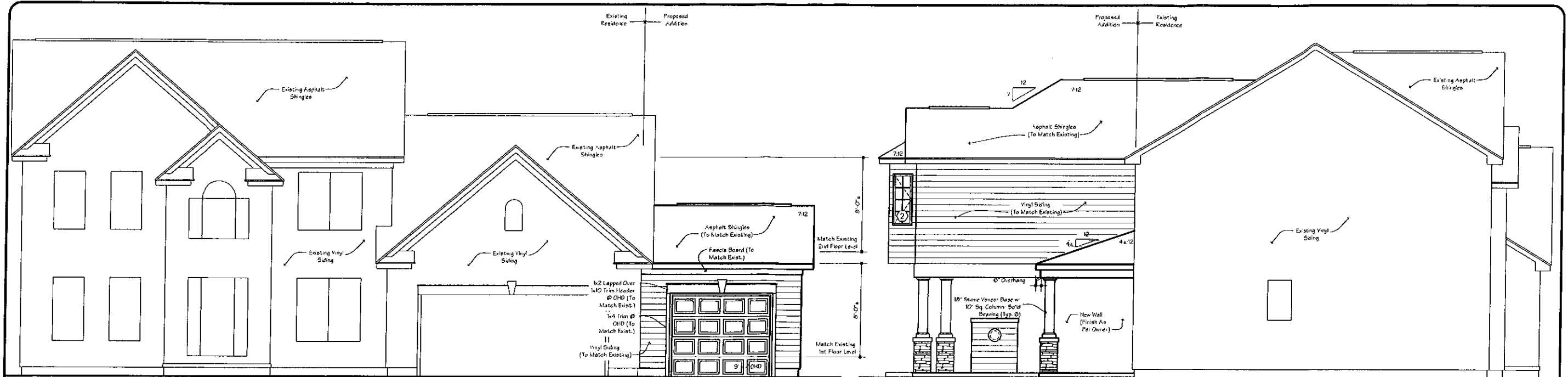
Second Floor Plan  
& Garage Wall Sect

Drawn By:  
C. Nichter  
Date:  
3-20-14  
Checked:  
D. Sutton  
Scale:  
As Noted  
Sheets No.:  
**A-2**

No.	Description	Date	By

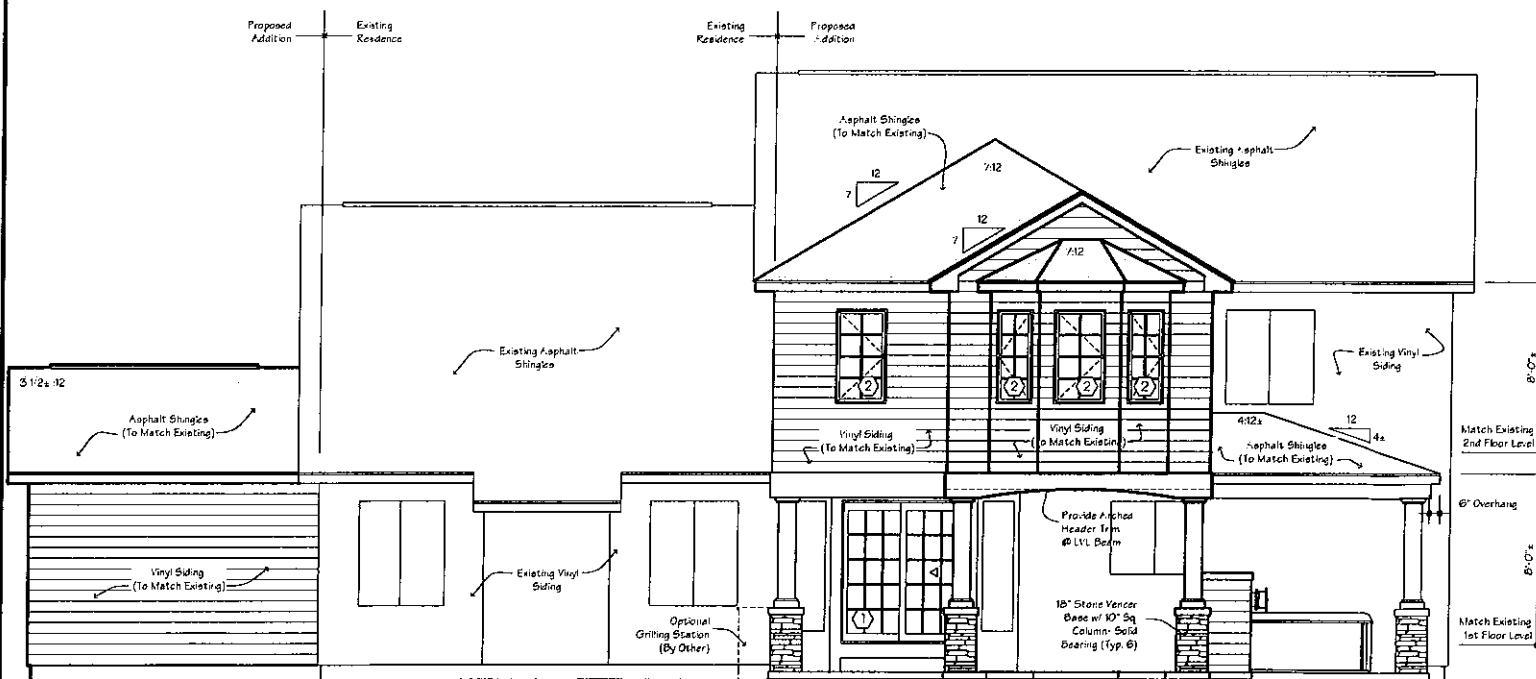
**WARNING:**  
It is a violation of Article 147, Section 7505 of the New York State Education Law for any person to alter in any way, on this document, unless under the direction of a Licensed Architect.



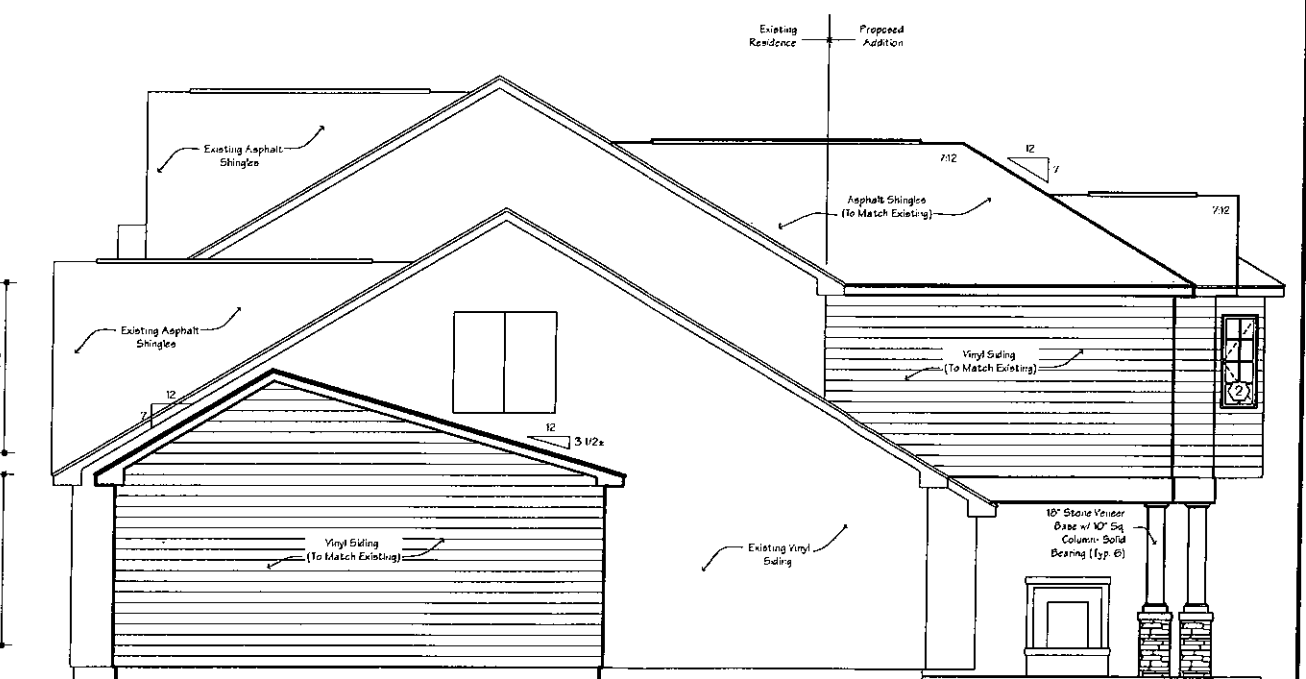


A3.1 Front Elevation

A3.2 Left Elevation



A3.3 Rear Elevation



A3.4 Right Elevation

No.	Description	Date	By

**WARNING:**  
It is a violation of Article 147, Section 7005  
of the New York State Education Law for any  
person to alter or tamper in any way, on this  
document, unless under the direction of a  
licensed Architect.

Proposed Addition/ Interior Renovations For:

**Raj and Nandita Sharma**

5035 Red Tail Run  
Williamsville, NY 14221

Copyright Sutton Architecture © 2014



5408 Main Street  
(Second Floor)  
Williamsville, NY 14221  
(716) 932-7166 Fax 932-7873

**RECEIVED**

AUG 27 2014

**ZONING OFFICE**

Job Number  
**14-148**

Title  
Elevations

Drawn By  
C. Nichter  
Date  
3-20-14  
Checked  
D. Sutton  
Scale  
1/4" = 1'-0"

**A-3**







# REQUEST FOR ACTION BY:

TOWN OF CLARENCE, N.Y.

- ☒ Appeal Board  
☐ Planning Board  
☐ Town Board

- ☒ Appeal  
☐ Rezone  
☐ Revise Ordinance  
☐ Subdivision  
☐ Limited Use Permit  
☐ Other

Rec'd. by: Planning and Zoning  
Date August 27, 2014

**Action Desired** Applicant requests an area variance for the proposed density of 124 apartments for the multifamily component of the proposed project at 8230 Wehrle Drive.

8230 Wehrle Drive is located within the Commercial zone.

**Reason** §229-126 (D) (1) (c)

Per the amendment to the Town's multifamily law, adopted by the Town Board on July 23, 2014. The allowable density for this proposed project is 93 units.

## PLEASE PRINT

<b>Name</b>	Regent Development		
<b>Address</b>	c/o Sean Hopkins, Esq.		
	5500 Main, Suite 100, Williamsville		
<b>Town/City</b>	<b>State</b>	<b>Zip</b>	
<b>Phone</b>	510-4338		
<b>Signed</b>	SIGNATURE ON FILE		

Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

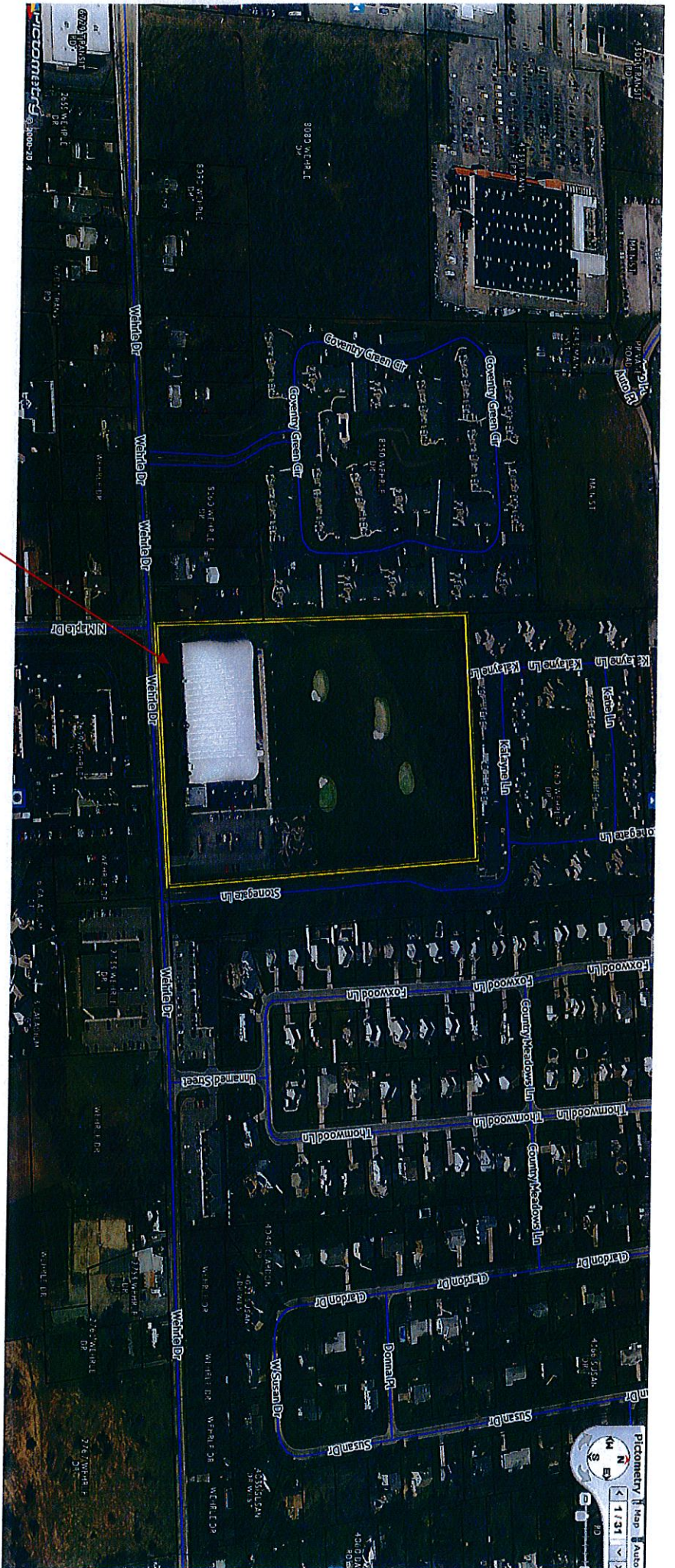
### Initial Action

Approved ☐  
Rejected ☐ by ..... on ..... 19 .....  
Approved ☐  
Rejected ☐ by ..... on ..... 19 .....  
Published (Attach Clipping) ..... on ..... 19 .....  
Hearing Held by ..... on ..... 19 .....

### Final Action Taken

Approved ☐  
Rejected ☐ by ..... on ..... 19 .....  
Published (Attach Clipping) ..... on ..... 19 .....  
Filed with Town Clerk ..... on ..... 19 .....  
Filed with County Clerk ..... on ..... 19 .....





Proposed project site



\* note the parcel lines displayed are approximate  
8230 Wehrle Drive



## Chapter 229. ZONING

### Article XV. Special Exception Use Permits

#### § 229-126. Multiple-family residential developments.

Multiple-family residential developments will only be allowed in the Commercial, Restricted Business and Traditional Neighborhood Districts as described herein.

##### A.

The purpose of the multiple-family residential housing special exception use permit is to guide future development of multiple-family housing developments within the Town of Clarence. Higher-density housing in the form of multiple-family housing shall not be considered an "as of right" use within any zoning classification.

##### B.

The Town Board shall determine the placement of such multiple-family residential housing based upon its design features, its impact upon the community character and its fiscal impact upon the Town.

##### C.

The intent of this section is to provide design standards to ensure that multiple-family residential developments are properly integrated into the character of the Town by providing for:

##### (1)

Preservation of valuable commercial property within the Town for development of commercial uses.

##### (2)

Preservation of open space.

##### (3)

Higher-density residential development that is in harmony with the rural and suburban character and scenic qualities of the Town of Clarence.

##### (4)

Facilitation of interconnectivity between commercial uses and between multiple-family and other residential uses, where appropriate.

##### (5)

Facilitation of adequate extensions of streets, walkways and utilities.

##### D.

Multiple-family residential uses in Commercial and Restricted Business Zones.

##### (1)



In order to preserve the long-term viability of the Commercial and Restricted Business zoning classifications for commercial uses and to provide a balance to the developing residential growth in the community and to avoid the concentration of multiple-family residential units in a particular area of the Town, the maximum number of multiple-family residential units that can be approved on any parent parcel or that can be approved in a single project design approval shall be restricted as follows:

(a)

Multiple-family housing will only be allowed on properties within sewer districts as approved by the Town Board.

(b)

Multiple-family housing will only be allowed on properties that contain a minimum of five acres.

(c)

The maximum density for multiple-family uses shall be eight units per acre. The density calculation and total number of units is to be determined by that portion of project site being utilized for multiple-family residential development.

(d)

A minimum of 25% of the property shall be committed to commercial uses that are allowed within the Commercial and Restricted Business Zones, and inner connectivity with other residential and commercial uses where possible is encouraged.

(e)

Multiple-family housing shall be limited to a maximum of two stories for any building within such a project.

(f)

Multiple-family housing shall have a setback from the affronting roadway to preserve the open character of the Town. The required front yard setback area shall be enhanced with landscaping to ensure an adequate visual buffer.

(g)

Scale and design must be compatible with community features and all other standards, as identified for Commercial or Restricted Business Districts in §§ [229-83](#) through [229-90.2](#) and §§ [229-75](#) through [229-82.2](#) of this chapter.

(2)

Multiple-family developments in a Commercial or Restricted Business Zoning District will require 30% of the project site to be preserved as permanent green space.

(3)



Part or all of the required commercial component can be reserved as green space for later commercial development; this reserved green space for commercial use is in addition to the required overall project site green/open space as per lot coverage calculations.

(4)

Upon recommendation of the Planning Board, the Town Board will designate the area of the property that is to be reserved as green space at the time of concept plan approval.

E.

Multiple-family residential uses in Traditional Neighborhood District (TND).

(1)

The maximum number of units within a multiple-family residential project within the TND shall be limited to 16 units.

(2)

The maximum density of multiple-family residential units within a project shall be limited to eight units per acre.

(3)

Projects that involve only the development of multiple-family residential units, with no mixed-use component, shall require a two-acre minimum lot size.

(4)

Mixed-use projects on smaller lots will be allowed with a maximum residential density of eight units per acre and with a minimum 25% commercial component.

(5)

Scale and design standards must be compatible with community features and all other standards, as identified within the TND Zoning District (§§ [229-57](#) through [229-68](#) of this chapter).

F.

Exceptions.

(1)

Under special circumstances, the Town Board, upon recommendation of the Planning Board, may allow multiple-family uses on unsewered lots of less than five acres within the Commercial and Restricted Business Zones. These circumstances include:

(a)

The maximum lot coverage of a multiple-family project shall be 70% of the parcel.

(b)



A minimum of 50% commercial use of the developable land shall be required (35% of the total lot).

(c)

The maximum on-site waste treatment allowance determination shall be consistent with regulatory agency and Town Engineer approvals, including residential and projected commercial waste. The maximum number of units that can be developed on an unsewered lot in the Commercial Zone shall be four units per acre in a mixed-use format with a maximum total number of multiple-family residential units capped at 16 units.

G.

General design standards.

(1)

All on-site traffic access roads shall be constructed to standards as approved by the Town Board. Curb cuts for proposed entrances or exits shall not be closer than 100 feet to any existing road intersection (70 feet within a TND).

(2)

Each phase of any multiple-family residential development must meet the density requirements as herein established.

(3)

Multiple-family residential projects that adjoin a street shall have significant screening running the length of the right-of-way, parallel to the street, except for driveways.

(4)

All multiple-family residential projects shall have an area or areas devoted to the recreational use of the residents. Such recreational component can be composed of open space and shall have a total area equal to at least 15% of the gross land area of the lot. This area shall be fully maintained by the owner of the property. Part or all of such space shall be in the form of developed recreation areas to be usable for recreational purposes. The 15% dedicated for such use may be counted as a part of the total green space requirement for such projects.

(5)

No principal building shall contain less than 1,000 square feet of usable floor space. Buildings used in whole or part for residential purposes, exclusive of accessory buildings and exclusive of porches, entries, garages and terraces, shall contain no less than 900 square feet of usable living space if a one-story building used as a one-family dwelling, nor less than 600 square feet of usable first floor living space if more than one story, and no such building shall contain less than 600 square feet of usable living space for each one-bedroom family unit or apartment; 720 square feet of usable living space for each two-bedroom family unit or apartment; and 1,000 square feet of usable living space for each three-bedroom family unit or apartment.

(6)

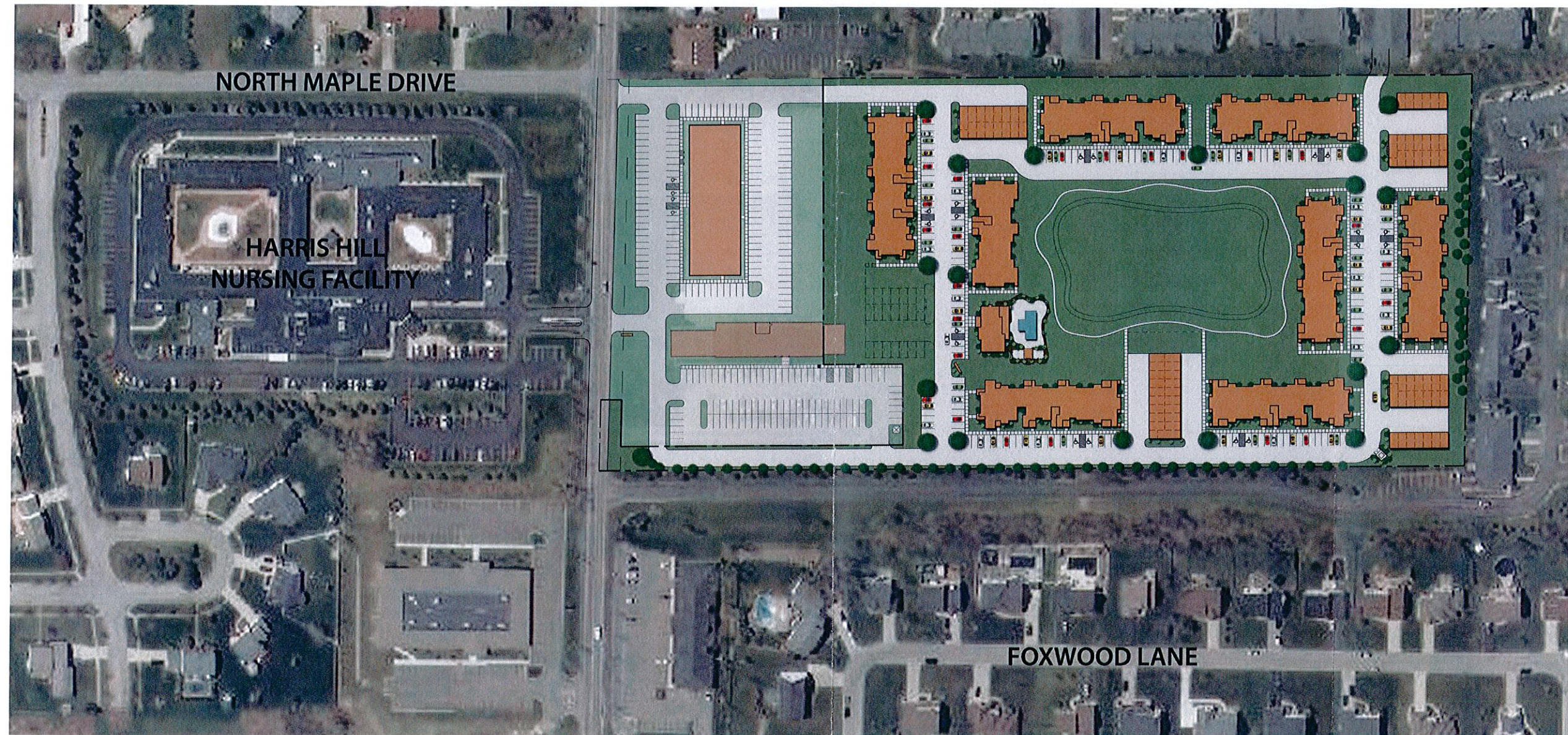


Any multiple-family housing development that includes five or more units and that is situated, in whole or in part, within the Adequate Educational Facilities Overlay District, shall comply with the terms of Article XIVA of the Town Zoning Law.[\[1\]](#)

[1]:

Editor's Note: See §§ [229-114.1](#) through [229-114.8](#).





## AERIAL SITE PLAN

RECEIVED

AUG 27 2014

ZONING OFFICE

WEHRLE DOME APARTMENTS

CLARENCE, NEW YORK



